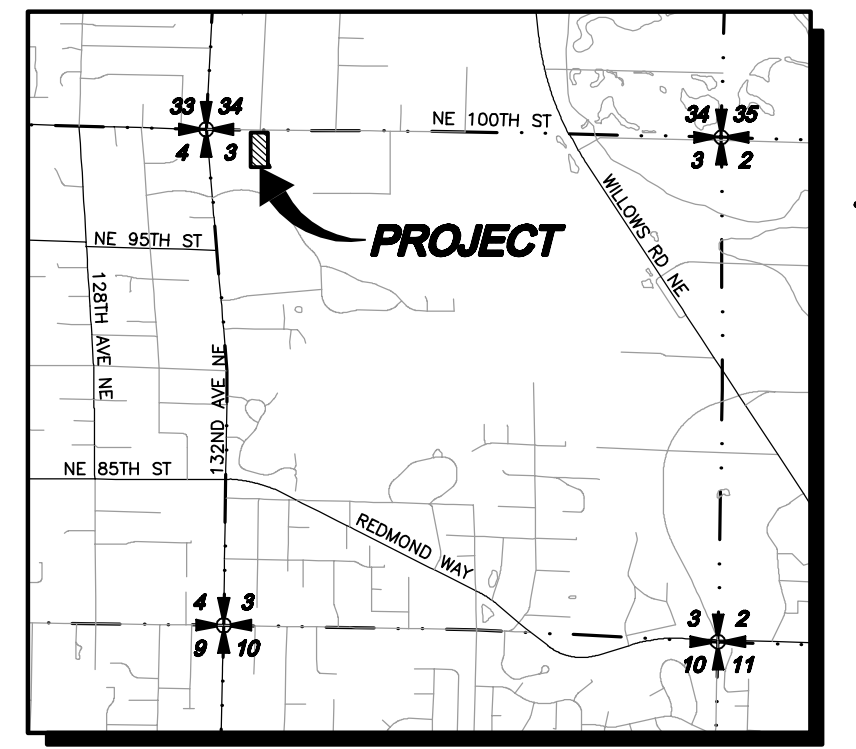
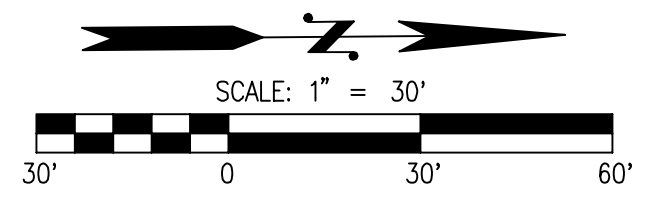


HEATHERS RIDGE SOUTH COVER SHEET & SITE PLAN



VICINITY MAP
SCALE: 1"=2000'

SURVEY INFORMATION

LEGAL DESCRIPTIONS

PARCEL A:
THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY WASHINGTON DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 3; THENCE EAST ON SECTION LINE NORTH 88° 23' 56" EAST 671.44 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 1° 36' 04" EAST 330.92 FEET; THENCE SOUTH 88° 23' 56" WEST 210 FEET; THENCE NORTH 1° 36' 04" WEST 330.92 FEET TO SAID SECTION LINE; THENCE NORTH 88° 23' 56" EAST 210 FEET TO THE TRUE POINT OF BEGINNING; EXCEPT THE NORTH 30 FEET AND THE EAST 30 FEET THEREOF FOR ROAD; (ALSO KNOW AS A PORTION OF TRACTS 1 AND 2 OF WARREN'S ADDITION TO KIRKLAND, AN UNRECORDED PLAT)

DATUM NOTES

HORIZONTAL DATUM: NAD 83/91

ORIGINATING BENCHMARKS:

CITY OF REDMOND MONUMENT NO. 48, A BRASS DISC IN CONCRETE STAMPED "CITY OF REDMOND B.M." AT THE SE QUADRANT OF THE INTERSECTION OF NE 104TH ST AND 132ND AVE NE AS PUBLISHED IN WASHINGTON COUNCIL OF COUNTY ENGINEERS SURVEY CONTROL DATABASE, POINT ID 6065.

VERTICAL DATUM: NAVD 88

ELEVATION: 334.247'

CITY OF REDMOND MONUMENT NO. 49, A BRASS DISC IN CONCRETE STAMPED "CITY OF REDMOND PUBLIC WORKS BM-49" AT THE EASTERLY PROJECTION OF THE CENTERLINE FOR NE 88TH ST AND 132ND AVE NE AS PUBLISHED IN WASHINGTON COUNCIL OF COUNTY ENGINEERS SURVEY CONTROL DATABASE, POINT ID 6066.

VERTICAL DATUM: NAVD 88

ELEVATION: 373.105'

TBM 'A': SET COTTON SPINDLE 1.0' ABOVE GRADE IN EAST FACE OF POWER POLE AT THE NE QUADRANT OF THE INTERSECTION OF 132ND AVE NE & NE 100TH ST
ELEVATION: 318.17

TBM 'B': TBM 'A': SET COTTON SPINDLE 1.0' ABOVE GRADE IN WEST FACE OF POWER POLE AT THE NE QUADRANT OF THE INTERSECTION OF 134TH AVE NE & NE 100TH ST
ELEVATION: 296.14

SCHEDULE B NOTES

EASEMENTS AND LEGAL DESCRIPTION ARE BASED ON THE PLAT 1329528, DATED SEPTEMBER 8, 2011, AT 8:00 A.M.

SUBJECT TO AN EASEMENT AND THE TERMS AND CONDITIONS THEREOF REGARDING A WATER PIPE LINE PER INSTRUMENT UNDER RECORDING NO. 4273715 (SHOWN)

SUBJECT TO AN EASEMENT AND THE TERMS AND CONDITIONS THEREOF REGARDING A TEMPORARY SEPTIC TANK SEWAGE DISPOSAL PER INSTRUMENT UNDER RECORDING NO. 7709130915 (EXACT LOCATION UNABLE TO BE DETERMINED-EASEMENT 65.8' WIDE LYING IN THE EAST 135' OF PARCEL 'B' TO BENEFIT PARCEL 'A')

SUBJECT TO AN AGREEMENT AND THE TERMS AND CONDITIONS THEREOF PER INSTRUMENT UNDER RECORDING NO. 9307020401

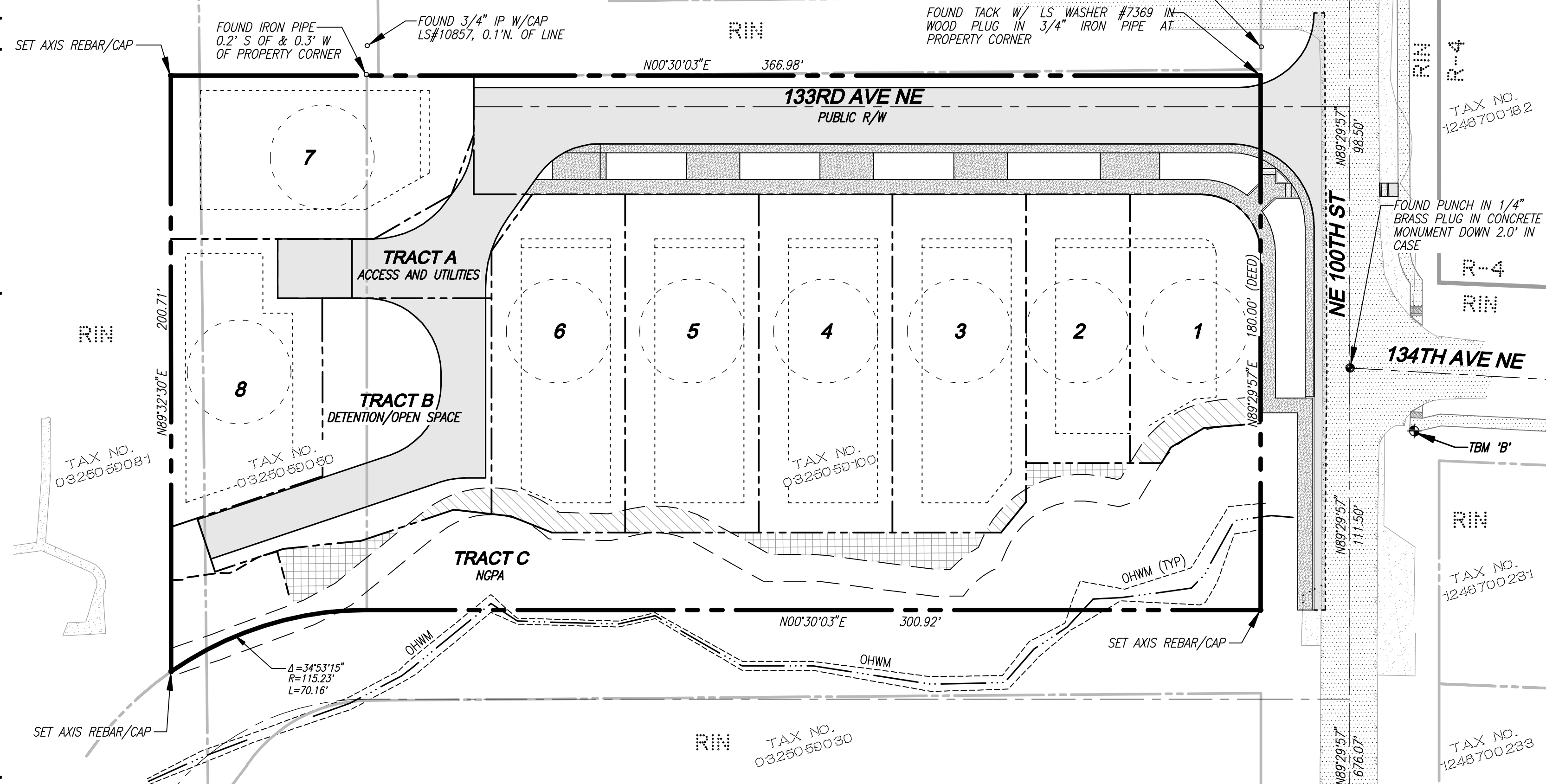
SURVEY NOTES

THIS SURVEY DISCLOSES FACTORS OF RECORD AND ON THE GROUND AFFECTING THE SUBJECT PROPERTY BOUNDARY, BUT IT DOES NOT PURPORT TO LEGALLY RESOLVE RELATED PROPERTY LINE DISPUTES. WHERE AMBIGUITIES ARE NOTED, AXIS RECOMMENDS THAT THE OWNER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO INTERPRET THEIR PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL PROPERTY LINE DISPUTES.

UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.) AND AS-BUILT INFORMATION PROVIDED BY THE UTILITY PURVEYORS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON SEPTEMBER 21, 2011 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

INSTRUMENTATION FOR THIS SURVEY WAS A LEICA 1103 TOTAL STATION. PROCEDURES USED IN THIS SURVEY WERE FIELD TRAVERSE, MEETING OR EXCEEDING STANDARDS SET BY WAC 332-130-090.



CONTACT LIST

APPLICANT:
QUADRANT HOMES
14725 SE 36TH ST. #200
BELLVUE, WA 98006
CONTACT: MATT PERKINS
PHONE: (425) 455-2900
EMAIL: mattperkins@quadranthomes.com

OWNER:
THOMAS & MELISSA ELLSWORTH
305 289TH PL NE
CARNATION, WASHINGTON 98014

ENGINEER/PLANNER:
LDC, INC.
14201 NE 200TH ST #100
WOODINVILLE, WASHINGTON 98072
ENGINEER: MATTHEW MERRITT, PE
PLANNER: STEVEN M. ANDERSON
PHONE: (425) 806-1869
FAX: (425) 482-2893
EMAIL 1: mmerritt@ldccorp.com
EMAIL 2: sanderson@ldccorp.com

SURVEYOR:
AXIS SURVEY & MAPPING
13005 NE 126TH PL
KIRKLAND, WASHINGTON 98034
PHONE: (425) 823-5700
FAX: (425) 823-6700

ARBORIST:
CREATIVE LANDSCAPE SOLUTIONS
REDMOND, WASHINGTON 98052
CONTACT: SUSAN PRINCE
PHONE: (425) 890-3808
EMAIL: sprince202@aol.com

LANDSCAPE ARCHITECT:
LANE AND ASSOCIATES
17226 NE 134TH PL
REDMOND, WA 98052
CONTACT: BRUCE LANE
PHONE: (425) 885-2319
EMAIL: laneassociates@gmail.com

PROJECT INFORMATION

SITE ADDRESS: 10044 134TH AVE NE, REDMOND, WA 98033
TAX PARCELS: 0325059100
GROSS SITE AREA: 1.33 AC 66,481 SF
NET SITE AREA: 1.25 AC 54,254 SF
ZONING: RIN (RESIDENTIAL INNOVATIVE)
NUMBER OF UNITS ALLOWED: 8 UNITS
20% SMALLER DWELLING = 2 UNITS (1 & 2)
AFFORDABLE = NO AFFORDABLE HOUSING IS REQUIRED IN PROJECTS LESS THAN 10 UNITS
LOTS 1 AND 2 SHALL CONTAIN A TWO UNIT ATTACHED DWELLING

NUMBER OF UNITS PROPOSED: 8 UNITS
OPEN SPACE/LANDSCAPING REQUIRED: 0.31 AC 13,296 SF
OPEN SPACE/LANDSCAPING PROVIDED: 0.40 AC 17,333 SF
PARKING SPACES REQUIRED: 16
PARKING SPACES PROVIDED: 16 - 2 PARKING SPACES WILL BE PROVIDED ON EACH LOT (GARAGES AND/OR DRIVEWAYS)
CODE SECTION: 21.08.070 RIN-ZONE
AVERAGE LOT SIZE: 4,599 SF
LOT FRONTAGE: 35 FEET
LOT DEPTH: 20 FEET MINIMUM
FRONT SETBACK: 15 FEET BLDG/18 FT GARAGE
SIDE SETBACK: 5/10 FEET
REAR SETBACK: 10 FEET
SIDE STREET SETBACK: 15 FEET
MAX LOT COVERAGE: 65%
MAX IMPERVIOUS LOT AREA ALLOWED: 0.63 AC 27,498 SF
PROPOSED IMPERVIOUS LOT AREA: 0.63 AC 27,498 SF
MAX HEIGHT ALLOWED: 25 FEET
MAX HEIGHT PROPOSED: < 25 FEET
UBC CONSTRUCTION TYPE: V-A (PROTECTED COMBUSTIBLE)

EARTHWORK QUANTITIES

CUT: 2,500 CY
FILL: 3,500 CY
NET: 1,000 CY IMPORT

REFERENCES

- KING COUNTY ASSESSOR'S MAP FOR THE NW 1/4, SEC. 3, TWP. 25N., RGE. 5E., W.M.
- RECORD OF SURVEY BY DUFFY, LAWNER & KUMPF, RECORDED UNDER AUDITOR'S FILE NO. 7703169003, RECORDS OF KING COUNTY, WASHINGTON.
- RECORD OF SURVEY BY OLIVER R. WOLCOTT, RECORDED UNDER AUDITOR'S FILE NO. 7802089007, RECORDS OF KING COUNTY, WASHINGTON.
- RECORD OF SURVEY BY GROUP 4, INC, RECORDED UNDER AUDITOR'S FILE NO. 9710279001, RECORDS OF KING COUNTY, WASHINGTON.
- PLAT OF FOX HOLLOW, RECORDED IN VOLUME 200, PAGE(S) 8-13, RECORDS OF KING COUNTY, WASHINGTON.

TABLE OF CONTENTS

- 1 COVER SHEET & SITE PLAN
- 2 PRELIMINARY SHORT PLAT PLAN
- 3 GRADING, ROAD AND UTILITIES PLAN
- 4 ROADWAY SECTIONS
- 5 TREE PRESERVATION PLAN
- 6 TREE PRESERVATION TABLE
- LA-1 LANDSCAPE PLAN
- LA-2 LANDSCAPE PLAN

LEGEND

EXISTING SYMBOLS		PROPOSED SYMBOLS	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Cross with dot)	FOUND SECTION CORNER MONUMENT	(Hatched box)	CONCRETE
(Circle with dot)	FOUND MONUMENT IN CASE	(Dotted box)	ASPHALT
(Circle with horizontal line)	FOUND REBAR/IRON PIPE AS NOTED	(Hatched box with diagonal lines)	BUFFER REDUCTION
(Circle with vertical line)	SANITARY SEWER MANHOLE	(Hatched box with cross-hatch)	BUFFER ADDITION
(Circle with horizontal line and dot)	SANITARY SEWER CLEANOUT	(Hatched box with vertical lines)	CONCRETE BLOCK WALL
(Circle with vertical line and dot)	STORM DRAIN MANHOLE	(Star with circle)	SIGN
(Square with dot)	CATCH BASIN	(Star with horizontal line)	MAIL BOX
(Triangle with dot)	CULVERT	(Star with vertical line)	LINE CONTINUES
(Circle with cross)	POWER POLE W/ TRANSFORMER	(Star with diagonal line)	TREE DECIDUOUS
(Circle with vertical line and cross)	GUY POLE	(Star with horizontal line and dot)	TREE CONIFEROUS
(Circle with horizontal line and cross)	GUY ANCHOR	(Star with vertical line and dot)	LANDMARK TREE CONIFEROUS
(Circle with vertical line and cross)	WATER METER	(Star with horizontal line and cross)	TREE SIZE AND TYPE
(Circle with horizontal line and cross)	FIRE HYDRANT	(Star with vertical line and cross)	TREE LOCATION
(Circle with vertical line and cross)	WATER BLOW OFF	(Star with horizontal line and cross)	DRIFLINE
(Circle with horizontal line and cross)	WATER VALVE	(Star with vertical line and cross)	HEDGE
(Circle with vertical line and cross)	WATER VAULT	(Star with horizontal line and cross)	

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 CITY OF REDMOND STANDARD SPECIFICATION AND DETAILS.

APPROVED FOR CONSTRUCTION:

FOR: DIRECTOR OF PUBLIC WORKS CITY OF REDMOND
DATE: _____
PLAN CHK ENGR: _____
STORM: _____
UTILITY: _____
FIRE DEPT: _____
TRANS / ENGR: _____
PLANNING DEPT: _____

DISCLAIMER
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LDC
Engineering Structural Planning Survey
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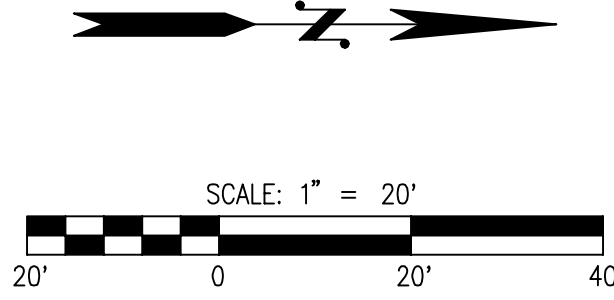
QUADRANT HOMES HEATHERS RIDGE SOUTH COVER SHEET & SITE PLAN



JOB NUMBER: 13-171
DRAWING NAME: 13171P-CS01
DESIGNER: MMW
DRAFTING BY: RCR
DATE: 11-3-14
SCALE: 1"=30'
JURISDICTION: REDMOND

Drawing: P:\2013\13-171-Elisabeth Drawings\Preliminary\13171P-CS01.dwg
Plotted: Jul 09, 2015 - 4:34pm

NW 1/4, NW 1/4 OF SEC 3, TWN 25 N, RGE 5 E, W.M., CITY OF REDMOND, KING COUNTY, WASHINGTON



BUFFER CALCULATIONS

TOTAL 36' BUFFER AREA	9,950 SF
BUFFER REDUCTION	1,215 SF
BUFFER INCREASE	1,303 SF

NOTE: MINIMUM BUFFER WIDTH OF AT LEAST 27' FROM OHWM IS MAINTAINED THROUGHOUT THE SITE.

NET BUILDABLE AREA CALCULATION TABLE

	ZONE=RIN
A GROSS SITE AREA (SF)	66,481
B SENSITIVE AREA(S) AND BUFFER (SF) (TRACT C)	12,158
C SURFACE WATER AREAS DEDICATED OR HELD IN COMMON	0
D AREA OF PUBLIC RIGHT-OF-WAY, PRIVATE STREETS, AND ACCESS CORRIDORS	12,227
E PARKS AND OPEN SPACE DEDICATED OR HELD IN COMMON (TRACT B)	5,175
F ABOVE GROUND FACILITIES	0
G TOTAL FOR EACH ZONE (A-B+C+D+E+F)=NET BUILDABLE AREA	36,921
H MINIMUM DENSITY (G x MINIMUM DENSITY PERCENTAGE) = MINIMUM DENSITY	3

OPEN SPACE CALCULATIONS

	(SF)
REQUIRED OPEN SPACE	13,296
REQUIRED DEVELOPMENT WIDE OPEN SPACE	6,648
PROVIDED DEVELOPMENT WIDE OPEN SPACE	17,333
LOT BY LOT OPEN SPACE REQUIRED	6,648
LOT BY LOT OPEN SPACE PROVIDED	688
LOT 1; 19'x43'	350
LOT 2; 21'x35'	1,082
LOT 3; 34'x37'	1,125
LOT 4; 25'x45'	1,125
LOT 5; 25'x45'	1,048
LOT 6; 29'x35'	550
LOT 7; 10'x55'	789
LOT 8; 10'x55'	6,757
TOTAL LOT BY LOT OPEN SPACE PROVIDED	24,090 (36% OF SITE)

NOTE: 12,599 SF OUTSIDE TRACT C (95% OF REQUIRED OPEN SPACE)

PROJECT INFORMATION

SITE ADDRESS: 10044 134TH AVE NE, REDMOND, WA 98033, 0325059100

TAX PARCELS: GROSS SITE AREA: 1.53 AC 66,481 SF; NET SITE AREA: 1.25 AC 54,254 SF; RIN (RESIDENTIAL INNOVATIVE) 8 UNITS

NUMBER OF UNITS ALLOWED: 20% SMALLER DWELLING = 2 UNITS (1 & 2) AFFORDABLE = NO AFFORDABLE HOUSING IS REQUIRED IN PROJECTS LESS THAN 10 UNITS LOTS 1 AND 2 SHALL CONTAIN A TWO UNIT ATTACHED DWELLING

NUMBER OF UNITS PROPOSED: 8 UNITS

OPEN SPACE/LANDSCAPING REQUIRED: 0.31 AC 13,296 SF

OPEN SPACE/LANDSCAPING PROVIDED: 0.40 AC 17,333 SF

PARKING SPACES REQUIRED: 16

PARKING SPACES PROVIDED: 16 - 2 PARKING SPACES WILL BE PROVIDED ON EACH LOT (GARAGES AND/OR DRIVEWAYS)

CODE SECTION: 21.08.070 RIN-ZONE

AVERAGE LOT SIZE: 4,599 SF

LOT FRONTAGE: 35 FEET

LOT CIRCLE: 20 FEET MINIMUM

FRONT SETBACK: 15 FEET BLDG/18 FT GARAGE

SIDE SETBACK: 5/10 FEET

REAR SETBACK: 10 FEET

SIDE STREET SETBACK: 15 FEET

MAX LOT COVERAGE: 35%

MAX IMPERVIOUS LOT AREA ALLOWED: 0.63 AC 27,498 SF

PROPOSED IMPERVIOUS LOT AREA: 0.63 AC 27,498 SF

MAX HEIGHT PROPOSED: < 25 FEET

UBC CONSTRUCTION TYPE: V-A (PROTECTED COMBUSTIBLE)

PROJECT SUMMARY TABLE

	ZONE=RIN
GROSS SITE AREA (SF)	66,481
NET BUILDABLE AREA (SF)	36,921
MINIMUM DENSITY	3
MAXIMUM DENSITY	8
AVERAGE LOT SIZE	4,615
LARGEST PROPOSED LOT	5,227
SMALLEST PROPOSED LOT	3,168
SENSITIVE AREA(S) AND BUFFER (SF) TRACT C	12,158
AREA OF PUBLIC RIGHT-OF-WAY, PRIVATE STREETS, AND ACCESS CORRIDORS	12,227
TOTAL OPEN SPACE (SF) TRACTS B & C	17,333
TOTAL ACTIVE RECREATION OPEN SPACE, IF PROVIDED (SF) TRACT B	5,175

CONTACT LIST

APPLICANT: QUADRANT HOMES, 14725 SE 36TH ST. #200, BELLVUE, WA 98006, CONTACT: MATT PERKINS, PHONE: (425) 455-2900, EMAIL: mattperkins@quadranthomes.com

OWNER: THOMAS & MELISSA ELLSWORTH, 305 289TH PL NE, CARNATION, WASHINGTON 98014

ENGINEER/PLANNER: LDC, INC., 14201 NE 200TH ST #100, WOODINVILLE, WASHINGTON 98072, ENGINEER: MATTHEW MERRITT, PE, PLANNER: STEVEN M. ANDERSON, PHONE: (425) 806-1869, FAX: (425) 482-2893, EMAIL 1: mmerritt@ldccorp.com, EMAIL 2: sanderson@ldccorp.com

SURVEYOR: AXIS SURVEY & MAPPING, 13005 NE 126TH PL, KIRKLAND, WASHINGTON 98034, CONTACT: MATT PERKINS, PHONE: (425) 823-5700, FAX: (425) 823-6700

LANDSCAPE ARCHITECT: LANE AND ASSOCIATES, 17226 NE 134TH PL, REDMOND, WA 98052, CONTACT: BRUCE LANE, PHONE: (425) 890-3808, EMAIL: laneassociatesla@gmail.com

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LEGEND

ON LOT OPEN SPACE

APPROVED FOR CONSTRUCTION:

FOR: DIRECTOR OF PUBLIC WORKS CITY OF REDMOND

DATE: _____

PLAN CHK ENGR: _____

UTILITY: _____

STORM: _____

FIRE DEPT: _____

TRANS / ENGR: _____

PLANNING DEPT: _____

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 CITY OF REDMOND STANDARD SPECIFICATION AND DETAILS.

THIS APPROVAL IS FOR THE DESIGN CONCEPT ONLY. THESE PLANS ARE TO BE IN CONFORMANCE WITH THE CITY OF REDMOND DESIGN STANDARDS FOR CONSTRUCTION. THIS APPROVAL SHALL NOT BE CONSIDERED THE CITY'S ENDORSEMENT OF THE CITY RESERVES THE RIGHT TO REQUIRE REVISIONS TO THE APPROVED PLANS TO ASSURE CONFORMANCE WITH THE CITY OF REDMOND DESIGN STANDARDS FOR CONSTRUCTION AT ANY TIME THAT IS DISCOVERED THAT THE PROPOSED CONSTRUCTION DOES NOT OTHERWISE MEET THE APPLICABLE CONSTRUCTION STANDARDS. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVED FIELD REVISIONS TO CORRECT ANY ERRORS OR OMISSIONS FOUND ON THE APPROVED PLANS.



JOB NUMBER: 13-171
DRAWING NAME: 13171P-SP-01
DESIGNER: MWM
DRAFTING BY: RCR
DATE: 11-3-14
SCALE: 1"=20'
JURISDICTION: REDMOND

SP-01

SHEET 2 OF 6

Drawing: P:\2013\13-171_EllsworthDrawings\Preliminary\13171P-SP-01.dwg Plotted: Jul 09, 2015 - 4:36pm

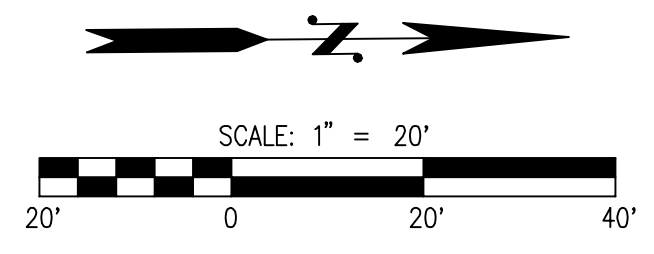
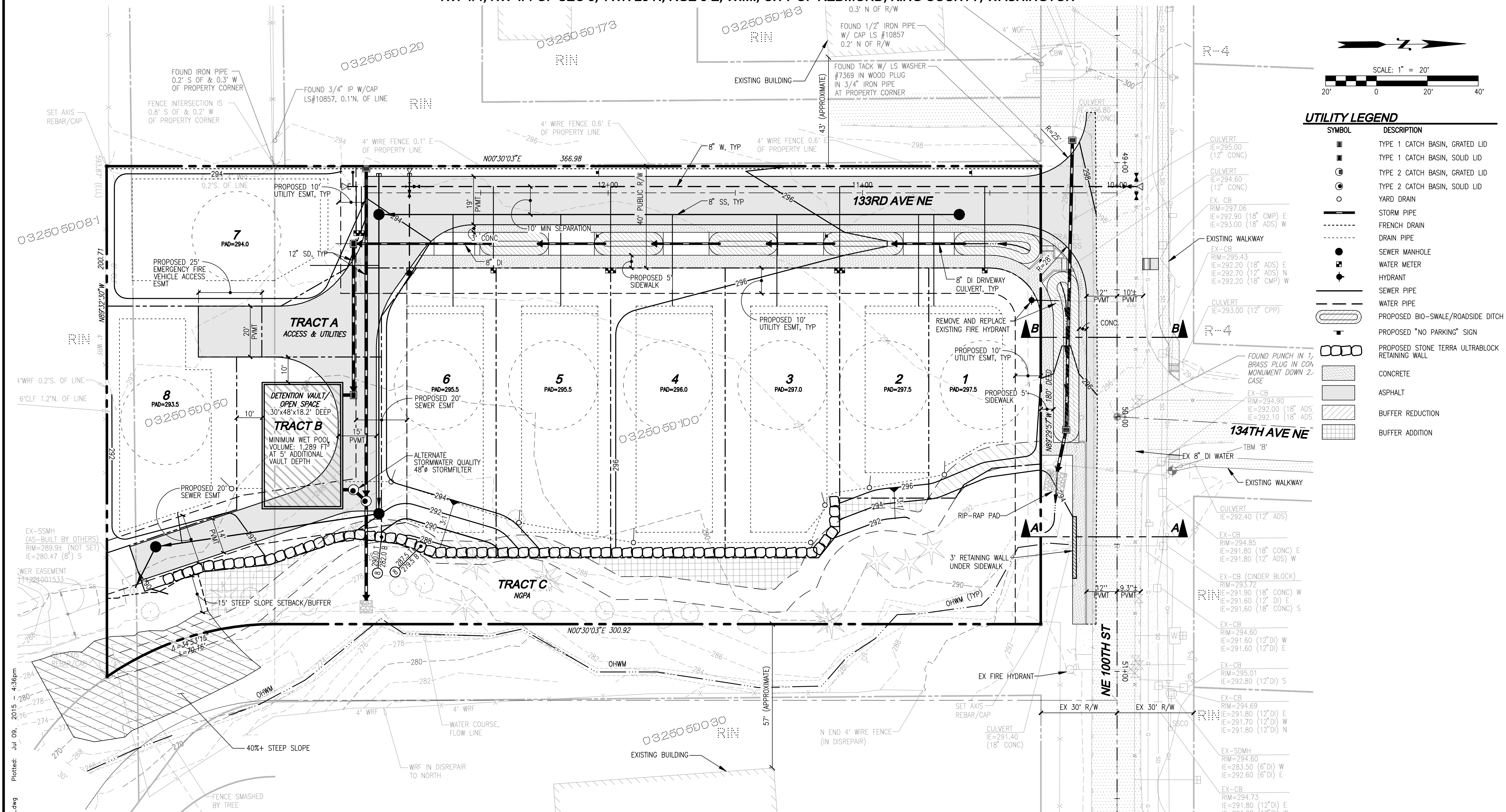
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Engineering Structural Planning Survey

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 THE CIVIL ENGINEERING GROUP
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 WOODINVILLE, WA 98072
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 FAX. 425.482.2893
 www.LDccorp.com

QUADRANT HOMES
HEATHERS RIDGE SOUTH
 PRELIMINARY SHORT PLAT PLAN



UTILITY LEGEND

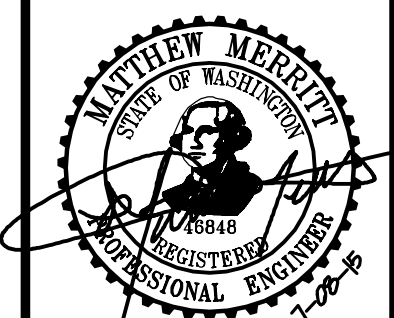
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[Symbol]	YARD DRAIN
[Symbol]	STORM PIPE
[Symbol]	FRENCH DRAIN
[Symbol]	DRAIN PIPE
[Symbol]	SEWER MANHOLE
[Symbol]	WATER METER
[Symbol]	HYDRANT
[Symbol]	SEWER PIPE
[Symbol]	WATER PIPE
[Symbol]	PROPOSED BIO-SWALE/ROADSIDE DITCH
[Symbol]	PROPOSED "NO PARKING" SIGN
[Symbol]	PROPOSED STONE TERRA ULTRABLOCK RETAINING WALL
[Symbol]	CONCRETE
[Symbol]	ASPHALT
[Symbol]	BUFFER REDUCTION
[Symbol]	BUFFER ADDITION

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**QUADRANT HOMES
 HEATHERS RIDGE SOUTH
 PRELIMINARY GRADING, ROAD AND UTILITIES PLAN**



CONTACT LIST

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 FAX: (425) 482-2883
 EMAIL 1: mmerritt@ldccorp.com
 EMAIL 2: sanderson@ldccorp.com

FRONTAGE R/W CLASSIFICATION

- COLLECTOR (60' R/W EXISTING)
- GOVERNED BY RUSTIC STREETS DESIGN STANDARD
- PROVIDE 30' PAVEMENT WIDTH REQUIRED (15' EITHER SIDE)
- 5' SIDEWALK PROVIDED OUTSIDE SWALE WIDTH (SOUTH SIDE)
- NO BIKE LANE REQUIRED

INTERNAL R/W CLASSIFICATION

- LOCAL ACCESS, PUBLIC 10 OR MORE/LESS
- RUSTIC STREETS
- 52' RIGHT-OF-WAY
- 5' SIDEWALK (BOTH SIDES)
- NO BIKE LANE REQUIRED
- MAX GRADE ALLOWED= 10%
- MAX PROVIDED= 2%

DRIVEWAYS
 DRIVEWAY MIN./MAX. WIDTH= 10'/20'
 FLOW FRONTAGE PROVIDED= 18'

FLOW CONTROL
 DETENTION VAULT

WATER QUALITY
 WATER QUALITY TREATMENT ACHIEVED WITH STORMFILTER MEDIA FILTRATION SYSTEM.

NOTES
 1. WATER SERVICE LINE FROM THE WATER METER TO THE HOUSE SHALL BE 1" PE.

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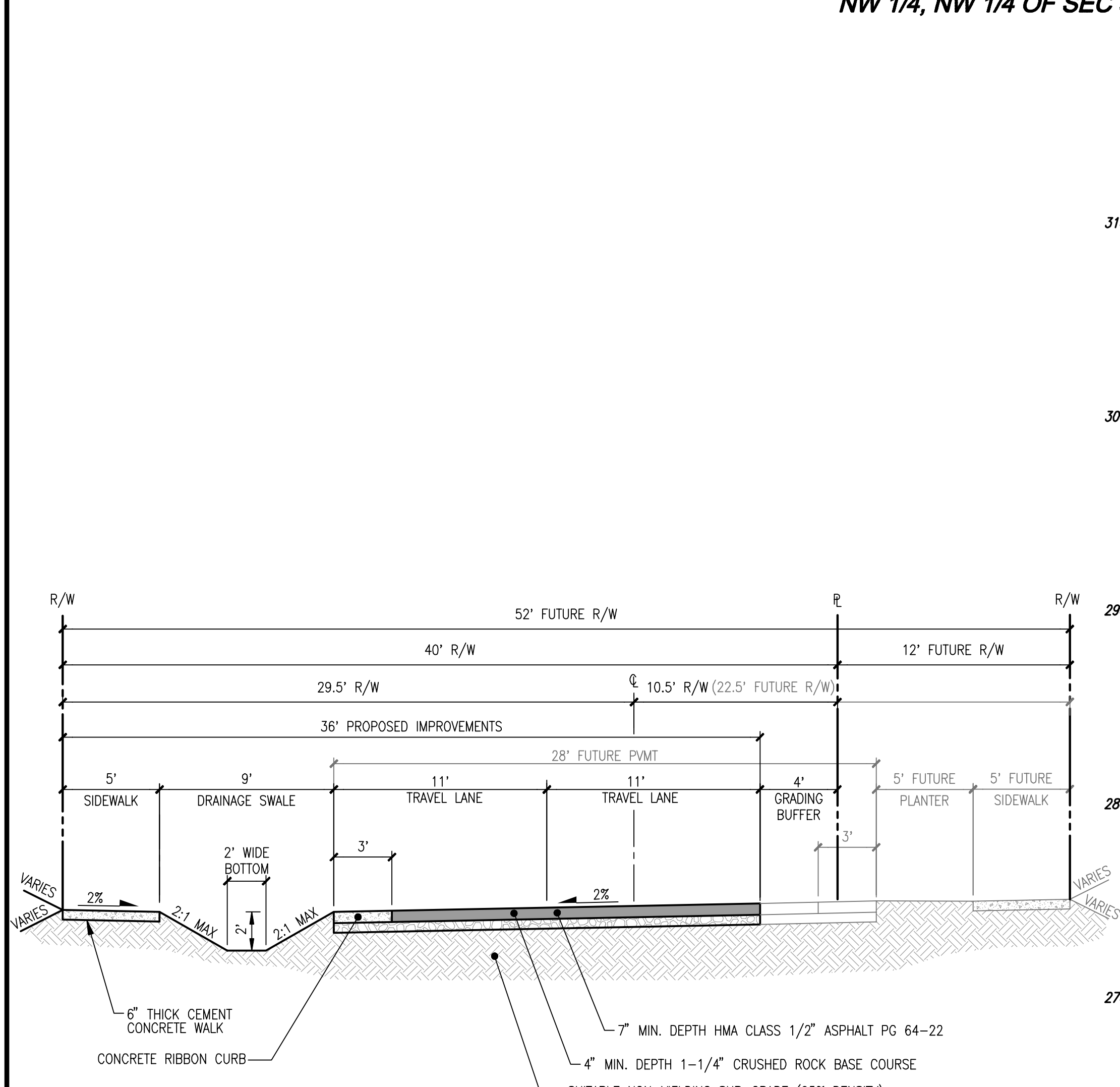
APPROVED FOR CONSTRUCTION:

FOR: DIRECTOR OF PUBLIC WORKS CITY OF REDMOND
 DATE: _____
 PLAN CHK ENGR: _____
 STORM: _____
 UTILITY: _____
 FIRE DEPT: _____
 TRANS / ENGR: _____
 PLANNING DEPT: _____

JOB NUMBER: 13-171
 DRAWING NUMBER: 3171P-RD-PL
 DESIGNER: MWM
 DRAFTING BY: RCR
 DATE: 11-3-14
 SCALE: 1"=20'
 JURISDICTION: REDMOND

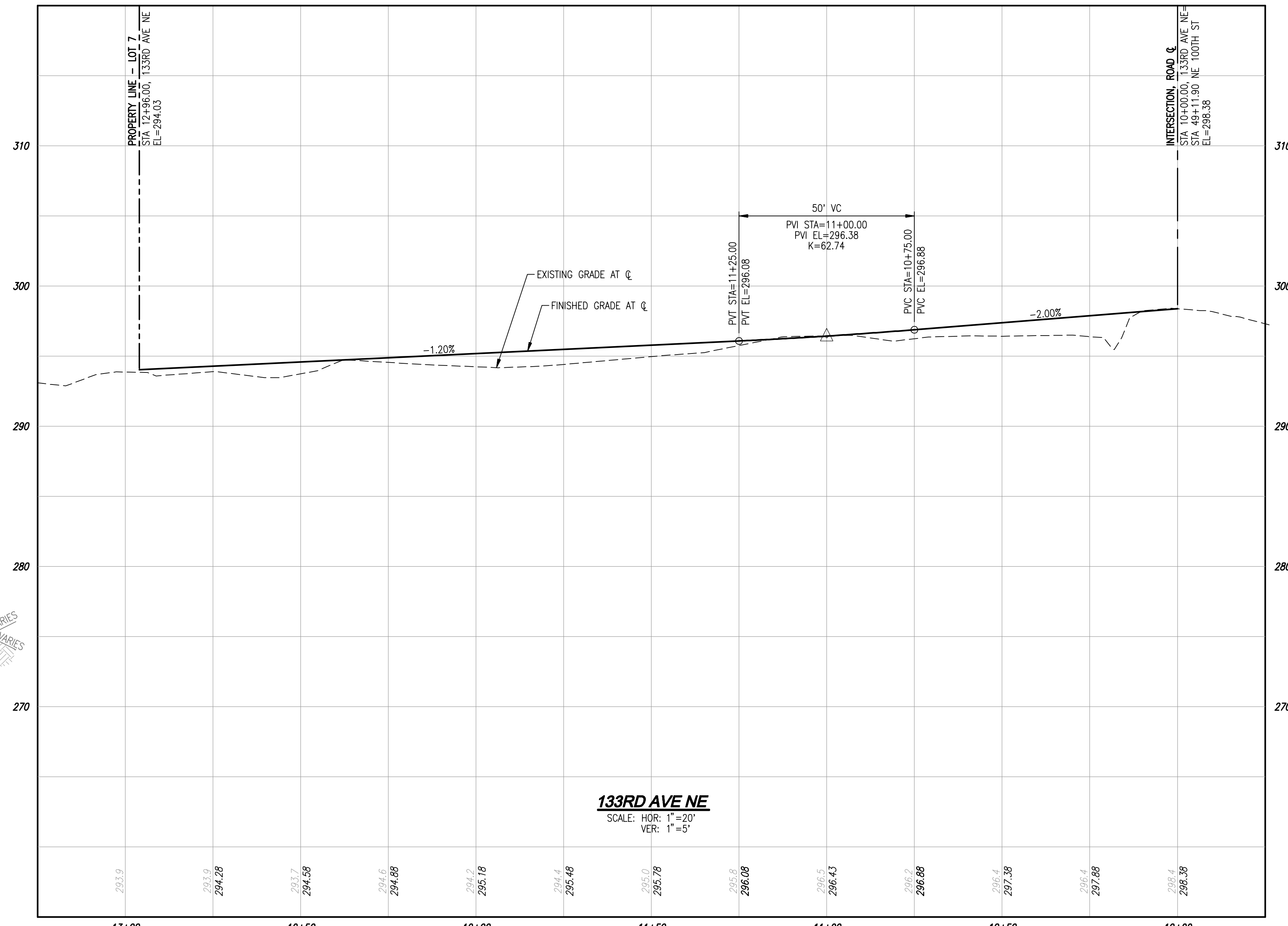
RD-01

SHEET 3 OF 6



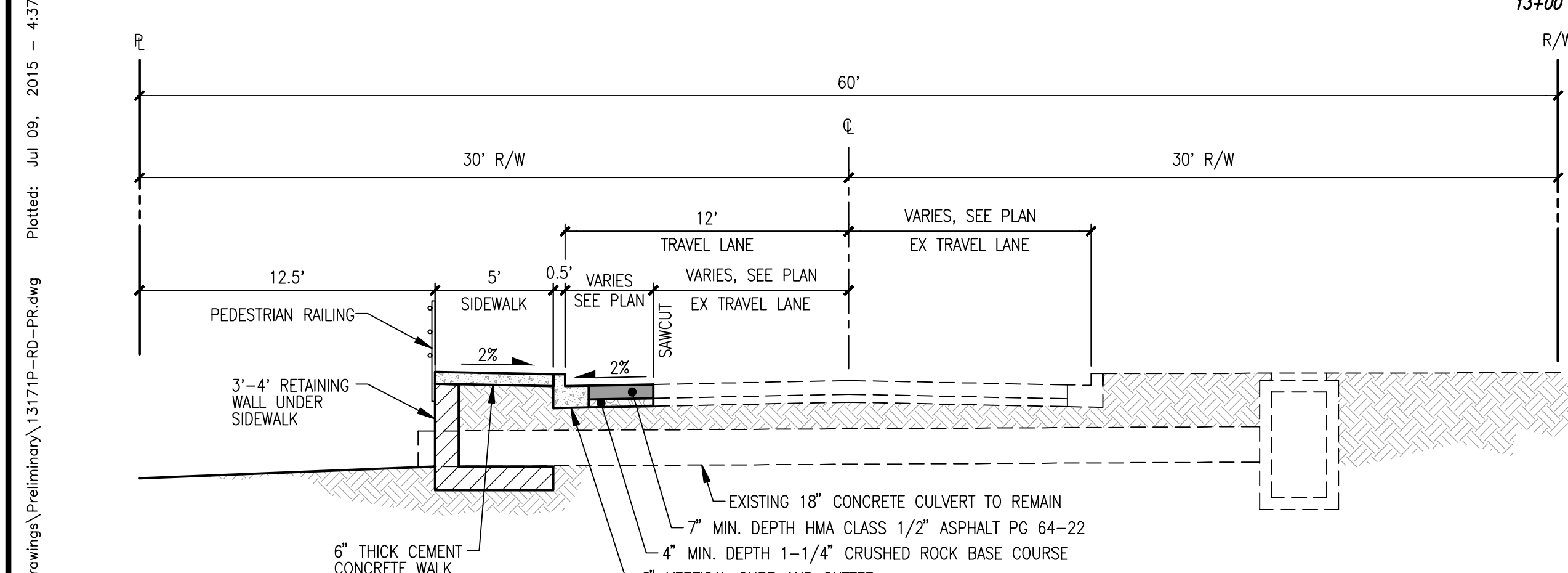
133RD AVE NE SECTION

SCALE: 1"=5'
CLASSIFICATION: RUSTIC STREET
DESIGN SPEED: 25 MPH



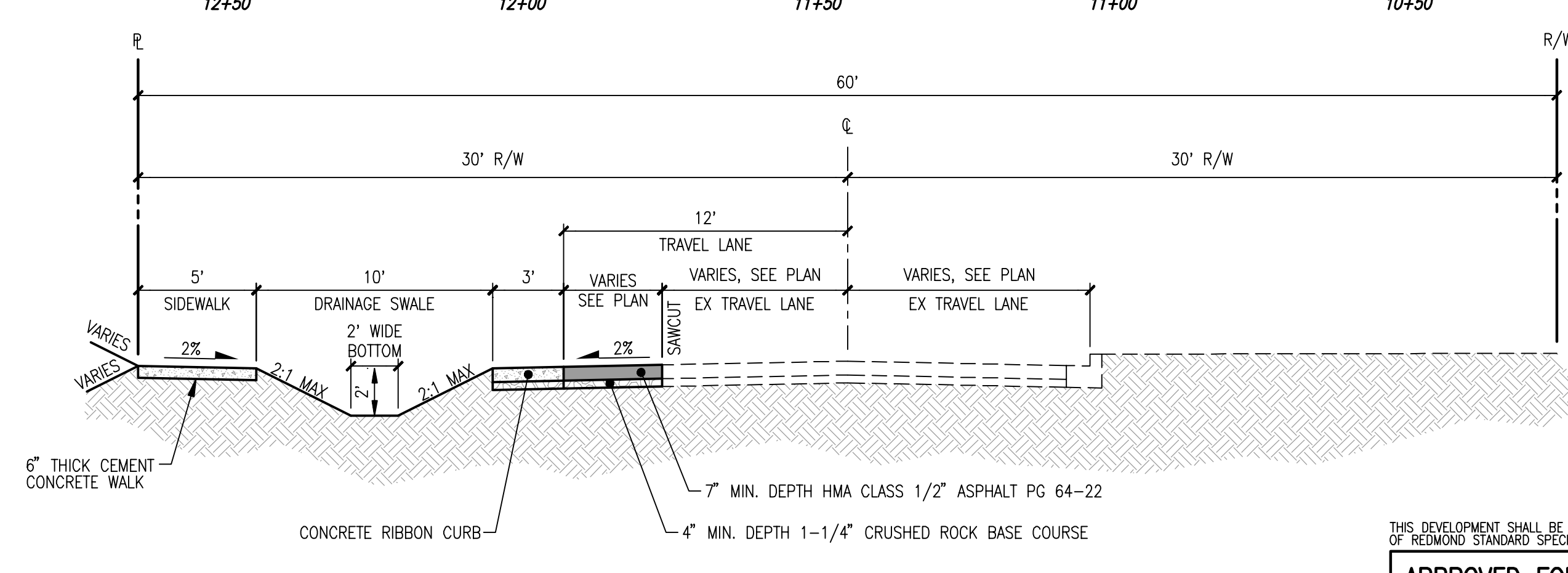
133RD AVE NE

SCALE: HOR: 1"=20'
VER: 1"=5'



**NE 100TH ST TYPICAL ROAD SECTION A
(STA 50+63.30 - STA 50+39.16)**

SCALE: 1"=5'



**NE 100TH ST TYPICAL ROAD SECTION B
(STA 50+05.05 - STA 49+61.18)**

SCALE: 1"=5'

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 CITY OF REDMOND STANDARD SPECIFICATION AND DETAILS.

APPROVED FOR CONSTRUCTION:

FOR: _____
DIRECTOR OF PUBLIC WORKS CITY OF REDMOND
DATE: _____
PLAN CHK ENGR: _____
STORM: _____
UTILITY: _____
FIRE DEPT: _____
TRANS / ENGR: _____
PLANNING DEPT: _____

THIS APPROVAL IS FOR THE DESIGN CONCEPT ONLY. THESE PLANS APPEAR TO BE IN CONFORMANCE WITH THE CITY OF REDMOND DESIGN STANDARDS FOR CONSTRUCTION. THIS APPROVAL SHALL NOT BE CONSIDERED AS AUTHORIZING CONSTRUCTION NOT IN ACCORDANCE WITH APPLICABLE CITY STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE REVISIONS TO THE APPROVED PLANS TO ASSURE CONFORMANCE WITH THE CITY OF REDMOND DESIGN STANDARDS FOR CONSTRUCTION AT ANY TIME THAT IS DISCOVERED THAT THE PROPOSED CONSTRUCTION DOES NOT OTHERWISE MEET THE APPLICABLE CONSTRUCTION STANDARDS. THE OWNER IS REQUIRED TO PROVIDE CORRECTIVE AND MAKE REVISIONS WITH APPLICABLE CITY STANDARDS AND ASSURES THAT CONSTRUCTION IS ACCOMPLISHED IN ACCORDANCE WITH THESE STANDARDS. THE OWNER AND/OR DESIGN ENGINEER AND/OR DEVELOPER MAY BE REQUIRED TO MAKE NECESSARY APPROVED FIELD REVISIONS TO CORRECT ANY ERRORS OR OMISSIONS FOUND ON THE APPROVED PLANS.

DISCLAIMER
TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY AXIS SURVEY & MAPPING, LLC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

Call 2 Business Days Before You Dig
1-800-424-5555
Utilities Underground Location Center
(ID,MT,ND,OR,WA)

NO.	DATE	DESCRIPTION	BY
1	1-20-15	REVISED PER CITY COMMENTS	MMW
2	3-03-15	REVISED PER ARBORIST	MMW
3	7-08-15	REVISED PER CITY COMMENTS	MMW

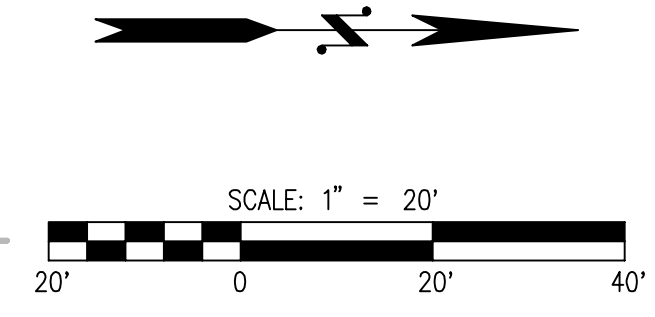
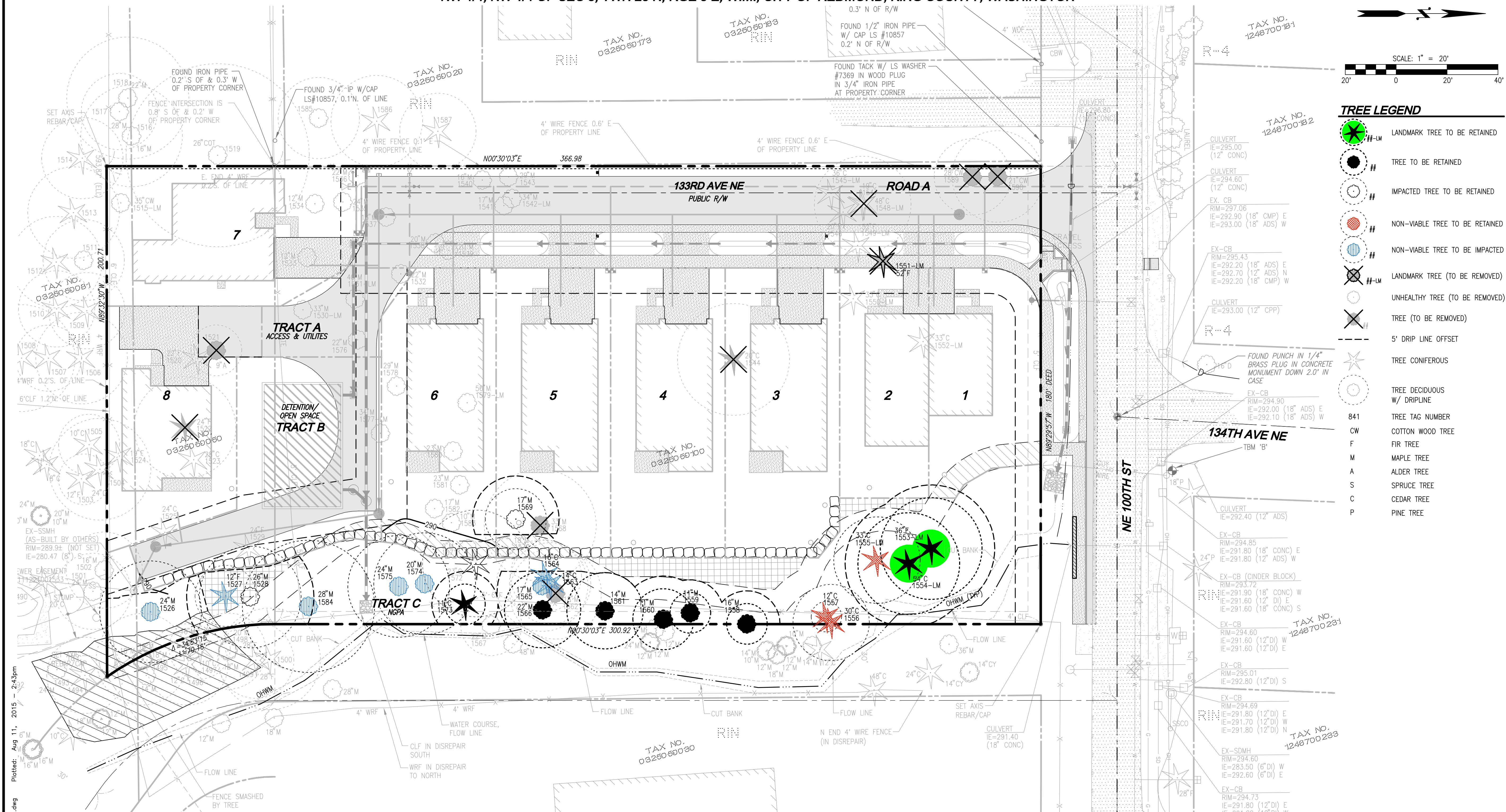
LDC
THE CIVIL ENGINEERING GROUP
14201 NE 200th St., #100
Woodinville, WA 98072
Ph. 425.806.1869
Fax. 425.482.2883
www.LDCcorp.com

**QUADRANT HOMES
HEATHERS RIDGE SOUTH
ROAD PROFILE AND SECTION**



JOB NUMBER: 13-171
DRAWING NAME: 3171P-RD-PR
DESIGNER: MMW
DRAFTING BY: RCR
DATE: 11-3-14
SCALE: AS NOTED
JURISDICTION: REDMOND

Drawing: P:\2013\13-171_Ellsworth\Drawings\Preliminary\13171P-RD-PR.dwg Plotted: Jul 09, 2015 - 4:37pm



TREE LEGEND

- LANDMARK TREE TO BE RETAINED
- TREE TO BE RETAINED
- IMPACTED TREE TO BE RETAINED
- NON-VIABLE TREE TO BE RETAINED
- NON-VIABLE TREE TO BE IMPACTED
- LANDMARK TREE (TO BE REMOVED)
- UNHEALTHY TREE (TO BE REMOVED)
- TREE (TO BE REMOVED)
- 5' DRIP LINE OFFSET
- TREE CONIFEROUS
- TREE DECIDUOUS W/ DRUPLINE
- 841 TREE TAG NUMBER
- CW COTTON WOOD TREE
- F FIR TREE
- M MAPLE TREE
- A ALDER TREE
- S SPRUCE TREE
- C CEDAR TREE
- P PINE TREE

UTILITY LEGEND

SYMBOL	DESCRIPTION
	TYPE 1 CATCH BASIN, GRATED LID
	TYPE 1 CATCH BASIN, SOLID LID
	TYPE 2 CATCH BASIN, GRATED LID
	TYPE 2 CATCH BASIN, SOLID LID
	STORM PIPE
	SEWER MANHOLE
	WATER METER
	HYDRANT
	SEWER PIPE
	WATER PIPE
	PROPOSED BIO-SWALE/ROADSIDE DITCH

NON-VIABLE TREES IN NGPE
PROPOSED ACTION AND BRIEF DEFINITION

TREE TYPE	REMOVAL	IMPACTED	RETAINED	TOTAL
LANDMARK (>30" DBH)	NUMBER OF REMOVED LANDMARK TREES	NUMBER OF IMPACTED LANDMARK TREES	NUMBER OF RETAINED LANDMARK TREES	TOTAL LANDMARK TREES
	0	0	1	1
	% OF REMOVED LANDMARK TREES OF ALL LANDMARK TREES	% OF IMPACTED LANDMARK TREES OF ALL LANDMARK TREES	% OF RETAINED LANDMARK TREES OF ALL LANDMARK TREES	% LANDMARK TREES OF ALL TREES
SIGNIFICANT (6" - 30")	NUMBER OF REMOVED SIGNIFICANT TREES	% IMPACTED OF ALL SIGNIFICANT TREES	NUMBER OF RETAINED SIGNIFICANT TREES	TOTAL SIGNIFICANT TREES
	0	8	2	10
	% SIGNIFICANT REMOVED OF ALL SIGNIFICANT TREES	% IMPACTED OF ALL SIGNIFICANT TREES	% RETAINED OF ALL SIGNIFICANT TREES	% SIGNIFICANT TREES OF ALL TREES
TOTALS	NUMBER OF LANDMARK + SIGNIFICANT REMOVED TREES	NUMBER OF LANDMARK + SIGNIFICANT IMPACTED TREES	NUMBER OF LANDMARK + SIGNIFICANT RETAINED TREES	TOTAL NUMBER OF ALL TREES
	0	8	3	11
	% REMOVED OF ALL TREES	% IMPACTED OF ALL TREES	% RETAINED OF ALL TREES	
	0/11 = 0%	8/11 = 73%	3/11 = 27%	11/11 = 100%

VIABLE TREES
PROPOSED ACTION AND BRIEF DEFINITION

TREE TYPE	REMOVAL	IMPACTED	RETAINED	TOTAL
LANDMARK (>30" DBH)	NUMBER OF REMOVED LANDMARK TREES	NUMBER OF IMPACTED LANDMARK TREES	NUMBER OF RETAINED LANDMARK TREES	TOTAL LANDMARK TREES
	1	0	2	3
	% OF REMOVED LANDMARK TREES OF ALL LANDMARK TREES	% OF IMPACTED LANDMARK TREES OF ALL LANDMARK TREES	% OF RETAINED LANDMARK TREES OF ALL LANDMARK TREES	% LANDMARK TREES OF ALL TREES
SIGNIFICANT (6" - 30")	NUMBER OF REMOVED SIGNIFICANT TREES	% IMPACTED OF ALL SIGNIFICANT TREES	NUMBER OF RETAINED SIGNIFICANT TREES	TOTAL SIGNIFICANT TREES
	7	3	6	16
	% SIGNIFICANT REMOVED OF ALL SIGNIFICANT TREES	% IMPACTED OF ALL SIGNIFICANT TREES	% RETAINED OF ALL SIGNIFICANT TREES	% SIGNIFICANT TREES OF ALL TREES
TOTALS	NUMBER OF LANDMARK + SIGNIFICANT REMOVED TREES	NUMBER OF LANDMARK + SIGNIFICANT IMPACTED TREES	NUMBER OF LANDMARK + SIGNIFICANT RETAINED TREES	TOTAL NUMBER OF ALL TREES
	8	3	8	19
	% REMOVED OF ALL TREES	% IMPACTED OF ALL TREES	% RETAINED OF ALL TREES	
	8/19 = 42%	3/19 = 16%	8/19 = 42%	100%

REPLACEMENT TREES

REMOVED LANDMARK (3:1)	1	3
REMOVED SIGNIFICANT (1:1)	7	7
TOTALS # OF REPLACEMENT TREES	8	10

35% TREE RETENTION

RMC REQUIRED 35% OF SIGNIFICANT TREE BE RETAINED	19x35% = 6 TREES
PROPOSED IMPROVEMENTS RETAIN 8 TREES	

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 CITY OF REDMOND STANDARD SPECIFICATION AND DETAILS.

APPROVED FOR CONSTRUCTION:

FOR: DIRECTOR OF PUBLIC WORKS CITY OF REDMOND

DATE: 11-3-14

SCALE: 1"=20'

JURISDICTION: REDMOND

FOR: MWM

DRAFTING BY: RCR

DATE: 11-3-14

SCALE: 1"=20'

JURISDICTION: REDMOND

Call 2 Business Days Before You Dig
1-800-424-5555
Utilities Underground Location Center (ID,MT,ND,OR,WA)

REVISIONS

NO.	DATE	DESCRIPTION
1	1-20-15	REVISED PER CITY COMMENTS
2	3-03-15	REVISED PER ARBORIST
3	7-08-15	REVISED PER CITY COMMENTS
4	8-11-15	REVISED PER ARBORIST

Engineering Structural Planning Survey

LDC
THE CIVIL ENGINEERING GROUP
14201 NE 200th St., #100
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Ph. 425.806.1869
Fax. 425.482.2883
www.LDCcorp.com

QUADRANT HOMES
HEATHERS RIDGE SOUTH
TREE PRESERVATION PLAN

MATTHEW MERRITT
REGISTERED PROFESSIONAL ENGINEER
No. 14888

JOB NUMBER: 13-171
DRAWING NAME: 13171P-TP-01
DESIGNER: MWM
DRAFTING BY: RCR
DATE: 11-3-14
SCALE: 1"=20'
JURISDICTION: REDMOND

TR-01

SHEET 5 OF 6

ONSITE TREES

Table with 16 columns: #, Tree Tag #, Species ID, DBH inches, Adj. DBH inches, Drip-line Radius feet, Health, Defects/Comments, Proposed Action, Viable Retained, Viable removed, Viable Impacted, Non-viable Remove, Non-viable Impacted, Non-viable retained, CRZ/TP Z/LOD, Tree Value

Table with 16 columns: #, Tree Tag #, Species ID, DBH inches, Adj. DBH inches, Drip-line Radius feet, Health, Defects/Comments, Proposed Action, Viable Retained, Viable removed, Viable Impacted, Non-viable Remove, Non-viable Impacted, Non-viable retained, CRZ/TP Z/LOD, Tree Value

OFFSITE TREES

Table with 16 columns: #, Tree Tag #, Species ID, DBH inches, Adj. DBH inches, Drip-line Radius feet, Health, Defects/Comments, Proposed Action, Viable Retained, Viable Impacted, Non-viable, CRZ/TP Z/LOD, Tree Value

THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 CITY OF REDMOND STANDARD SPECIFICATION AND DETAILS.

APPROVED FOR CONSTRUCTION:

FOR: DIRECTOR OF PUBLIC WORKS CITY OF REDMOND. DATE: PLAN CHK ENGR: UTILITY: STORM: FIRE DEPT: TRANS / ENGR: PLANNING DEPT:

Call 2 Business Days Before You Dig 1-800-424-5555 Utilities Underground Location Center (ID, MT, ND, OR, WA)

REVISIONS table with columns: NO., DATE, DESCRIPTION

LDC THE CIVIL ENGINEERING GROUP. Engineering Structural Planning Survey. 14201 NE 200th St., #100 Woodinville, WA 98072

QUADRANT HOMES HEATHERS RIDGE SOUTH TREE PRESERVATION TABLE



JOB NUMBER: 13-171 DRAWING NAME: E3171P-TP-01 DESIGNER: MWM DRAFTING BY: RCR DATE: 11-3-14 SCALE: AS NOTED JURISDICTION: REDMOND

Vertical text on the left margin: Drawing: P:\2013\13-171-Elisworth\Drawings\Preliminary\13171P-TP-01.dwg Plotted: Aug 11, 2015 2:43pm